

STANDARD PATIO PLAN

ADDRESS _____

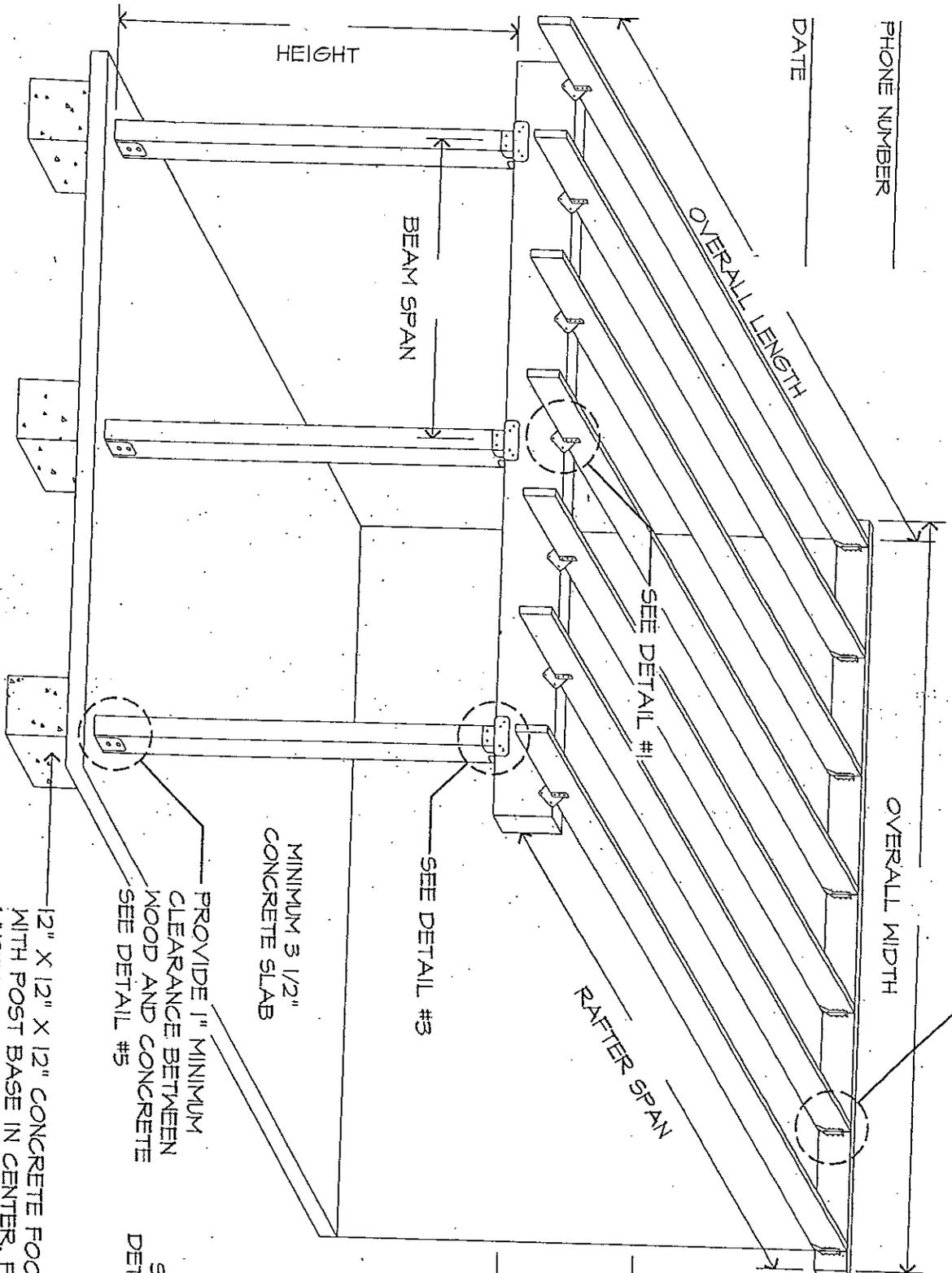
APN # _____

OWNER'S NAME _____

PHONE NUMBER _____

DATE _____

SEE DETAIL #2 & #4
FOR TYPE OF
ATTACHMENT



ROOF MUST HAVE A
MINIMUM 1/2" PLYWOOD
OR OSB SHEATHING
NAILED @ 6" O.C.
EDGES & 12" FIELD
USING 8d NAILS, WITH
15LB FELT AND
ROLLED ROOFING.

NOTE: ASPHALT
SHINGLES CANNOT BE
USED UNLESS THE
ROOF SLOPE IS MORE
THEN 2" PER FOOT.

TOTAL SQUARE FEET
LENGTH X WIDTH

X _____ = _____ S.F.

RAFTER SIZE

X _____ @ _____ O.C.

BEAM SIZE

X _____

POST SIZE

X _____

SEE OTHER SIDE FOR
DETAILS, SIZE SCHEDULES,
AND HARDWARE.

PROVIDE 1" MINIMUM
CLEARANCE BETWEEN
MOOD AND CONCRETE
SEE DETAIL #5

MINIMUM 3/2"
CONCRETE SLAB

12" X 12" X 12" CONCRETE FOOTING
WITH POST BASE IN CENTER. FOOTING
MUST EXTEND 12" BELOW BOTTOM OF SLAB



155 W. Durian Avenue
Coalinga, CA 93210

TYPICAL ROOFED PATIO COVER

INSTRUCTIONS:

1. A building permit for a patio cover may be obtained using these City standard drawings. Simply fill in the blanks and information requested on these plans.
2. Complete an "Application for a Building Permit" and present it with these plans to a permit specialist.
3. Deviations from the construction and designs shown in these drawings will require complete plans and details and must be reviewed by a City Plan Check Engineer prior to obtaining a building permit.

GENERAL INFORMATION:

1. A patio cover is a one-story structure that does not exceed 12-feet in height above the adjacent grade.
2. Patio covers shall be used for recreational, outdoor living purposes only and shall not be used as carports, garages, storage rooms or habitable rooms.
3. Patio covers may be attached or detached and must be accessory to a single-family dwelling or individual dwelling unit in a multiple-dwelling building.
4. Patio covers may be partially enclosed provided the area of the longer wall and one additional wall is at least 65% open. Openings may be enclosed with insect screening or readily removable plastic (translucent or transparent) up to 1/8-inch thick. Framed windows are not permitted.

MATERIALS:

1. WOOD shall be grade marked Douglas Fir Larch No. 2 or better.
2. CONCRETE shall have a minimum strength of 2500 psi in 28 days.
3. FRAMING HARDWARE shall be ICBO approved for the intended use and installed per manufacturers' specifications using all recommended fasteners.
4. ROOF SHEATHING shall be continuous over 2 or more rafter spans, face grain shall be perpendicular to supports and maximum span shall be as follows:

SHEATHING	SPAN RATING	MAX. SPAN	NAILING
3/8" CDX Plywood	20/0	16" O.C.	6d common or deformed shank
1/2" CDX Plywood	24/0	24" O.C.	6d common or deformed shank
5/8" CDX Plywood	40/20	32" O.C.	8d common or 6d deformed shank
3/4" CDX Plywood	48/24	36" O.C.	8d common or 6d deformed shank
1 1/8" CDX Plywood	60/48	48" O.C.	10d common or 8d deformed shank
1 x nominal lumber		24" O.C.	2 - 8d at each lap

(all nail spacing for plywood sheathing shall be 6" on center at edges and 12" on center in field)

5. ROOF COVERING shall be Class B or better fire retardant lightweight or heavyweight. (Rafters shall be sized based on the roof being used). Light weight roofs include asphalt or fiberglass shingles, cap sheets, built-up and hot-mopped roofs. Heavyweight roofs include concrete, clay or slate tile.

REQUIRED INSPECTIONS:

1. FIRST INSPECTION shall be after excavation for the footings (before any concrete is poured) and verification of the solid wood backing for the ledger bolting.
2. SECOND INSPECTION shall be the framing inspection when all framing has been completed. The roof sheathing and nailing will be inspected at this time.
3. THIRD INSPECTION will be the final inspection after the roof covering has been installed.

PLEASE READ AND SIGN:

The owner and/or contractor, as applicant for this permit, has read and understands the information on this page and agrees to construct the proposed patio cover as shown on these plans.

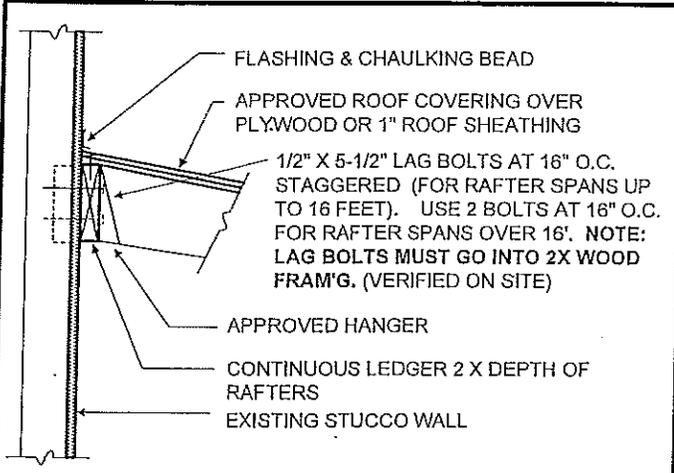
Signature of Applicant _____

Date: _____

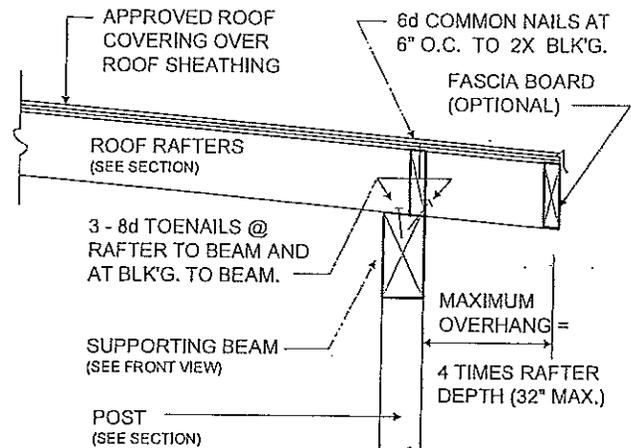


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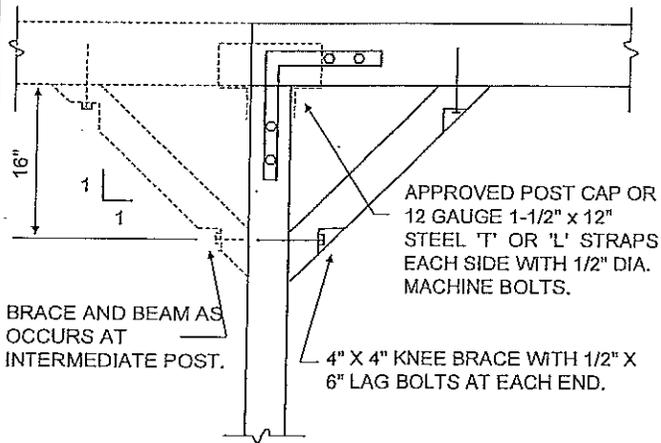
TYPICAL ROOFED PATIO COVER



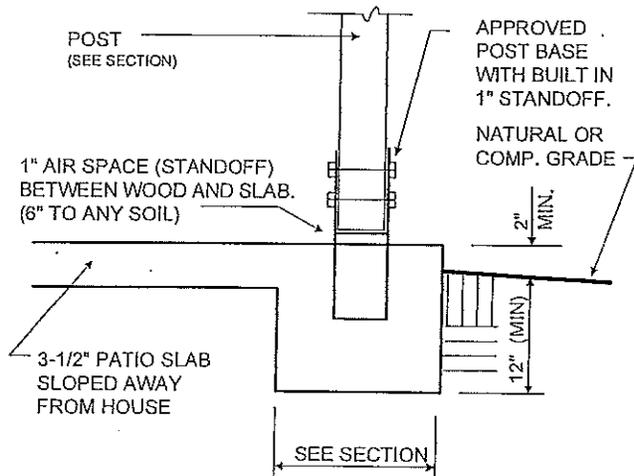
LEDGER CONNECTION - "A"



RAFTER TO BEAM DETAIL - "B"



KNEEBRACING DETAIL - "C"



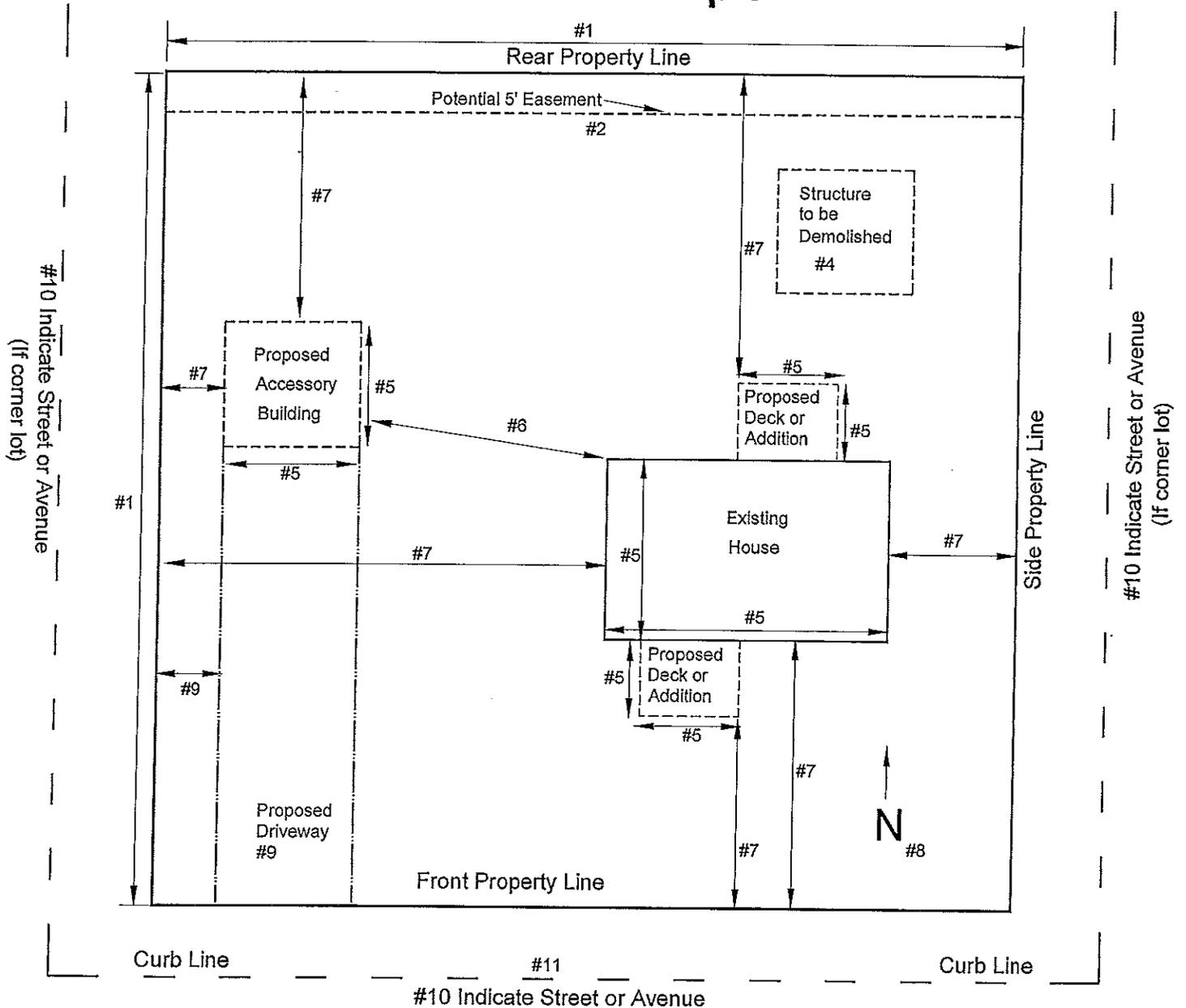
TYPICAL FOOTING DETAIL - "D"

ALLOWABLE RAFTER SPANS - (NO CEILING)

BEAM SPANS

Rafter Size	Rafter Spacing	Light Roof	Heavy Roof	Rafter Size	Rafter Spacing	Light Roof	Heavy Roof	Beam Size	With Rafter Spans...	
									..up to 15'	..up to 20'
2" x 4"	12"	8'-4"	7'-9"	4" x 4"	16"	11'-1"	10'-3"	4" x 4"	4'-0"	3'-4"
	16"	7'-3"	6'-9"		24"	9'-0"	8'-4"	4" x 6"	6'-0"	5'-3"
	24"	5'-11"	5'-5"		32"	7'-10"	7'-3"	4" x 8"	8'-0"	6'-10"
2" x 6"	16"	11'-5"	10'-8"	4" x 6"	24"	14'-3"	13'-2"	4" x 10"	10'-0"	8'-10"
	24"	9'-4"	8'-8"		32"	12'-4"	11'-4"	4" x 12"	12'-0"	10'-9"
	32"	8'-0"	7'-6"		48"	10'-0"	10'-0"	4" x 14"	14'-0"	12'-8"
2" x 8"	24"	12'-3"	11'-4"	4" x 8"	24"	18'-9"	17'-4"	6" x 8" #1	12'-0"	10'-10"
	32"	10'-6"	9'-10"		32"	16'-3"	15'-0"	6" x 10" #1	15'-6"	13'-10"
	48"	8'-8"	8'-0"		48"	13'-3"	12'-3"	6" x 12" #1	18'-6"	16'-10"

Plot Plan Sample



NOTE: All of these items must be shown on submitted plot plan:

1. Draw lot, show lot measurements and show all existing and proposed structures.
2. Show all easements located on this lot.
3. Label all existing and proposed structures.
4. Show any buildings to be removed or demolished.
5. Show dimensions of all structures.
6. Show distances between all structures.
7. Show distances between all structures and property line.
8. Indicated the direction of North on plot plan.
9. Show existing driveway and any changes to proposed driveway. Show distances to property lines. (If any driveway changes are proposed, refer to right-of-way handout.)
10. Label frontage street and adjacent street if a corner lot.
11. Note: The curb line is NOT the property line.

