

DOWNTOWN DESIGN GUIDELINES

for the

CITY OF COALINGA



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Introduction

The City of Coalinga grew from its agricultural roots to become a center of the turn-of-the-century California oil industry, an important link in the railroad system and the home of hearty and innovative people. Incorporated in April, 1906, the city recently celebrated its Centennial, looking back at the people and events that formed the foundation of the community. From agriculture to industry to service professions, the city has grown and nurtured its population. Today, the city of over 18,000 is a crossroads for travelers and a home to a diverse population.

Coalinga is located in Fresno County 53 miles southwest of the city of Fresno. Two state highways, Highway 33 and Highway 198 meet in Coalinga. Many travelers use Highway 198 as a scenic but slower alternative route between the Central Valley and the coast Highway 101.

Physically, the city is nestled in the California Coast Range at an elevation of approximately 650 feet. The community receives about 8" of annual rainfall and is above most of the legendary Valley fog. Native plant communities feature oaks and native grasslands. Though the history of the community is rich and over 100 years long, the architectural evidence of the community's history was largely destroyed in the earthquake of May, 1983. Since then new construction and remodeling of existing and of damaged structures have set the tone for the 'new' look of Coalinga. The damage and destruction of so much of the city core has made the remaining historical structures and spaces all the more valuable and important as contributors to the city's image and roots.

There is no one architectural style that reflects "Coalinga". The boom times of the early 1900's is reflected in some of the city's restored and preserved buildings such as the 1934 Art Deco style Richmond Station on Elm Avenue, and the downtown Victorian band shell. The original City Hall, now offices for the court, was built in 1938 in the International Style celebrated in France by Le Corbusier. The new City Hall, built in an Art Deco motif, acknowledges the city's architectural heritage.

The styles of the 1970's and 80's are evident in much of the new construction built after the earthquake. Downtown buildings in Coalinga are not large pretentious structures, but rather more petite buildings that respond to the functional needs of the users, such as by providing overhangs and arcades for shade. The majority of the downtown buildings are single story. They are predominately light colored, with notable exceptions on Coalinga Plaza where a 'woody' scheme has been used as major element in several buildings and building accents.



The 1900's were a boom time for oil in Coalinga.



The restored 1934 Richfield Gas Station on Elm Avenue is now part of the Baker Museum.

In 1985 the city adopted the 'Downtown Coalinga Development Guidelines' which did much to guide the post-earthquake rebuilding of the core of the city. These guidelines are especially evident in the placement of buildings at the front of parcels, with parking behind or on-street, the extensive use of overhangs, and establishment of streetside landscaping. These new guidelines intend to incorporate and build upon these established standards.

Purpose and Objectives

These guidelines have been prepared to guide future development in the city of Coalinga to insure that new growth and development of the community core will continue to enhance the quality of life for the residents of the city and that it will provide vitality to the business, professional and government core of the community. Specifically, the goals are two-fold.

1. To enhance the visual quality of the community core by providing for harmonious development that is sensitive to the historical context and physical setting of the city.
2. To provide an objective tool to guide designers and builders as they create new work in Coalinga and to provide an objective aid for the city to evaluate proposed projects.

The Downtown Guidelines are divided into five sections and seven Appendices:

- A. Circulation and Parking Guidelines
- B. Site Development Guidelines
- C. Landscape Guidelines
- D. Architectural Guidelines
- E. Street Furnishings and Signage

Appendices:

- A1: Landscaping and Irrigation Standards
- A2: Street Tree Standards
- A3: Approved Tree Species and Suggestions for Containerized Materials
- A4: Performance Standards for Parking Lot Shading
- A5: Street Furnishings
- A6: Façade Standards
- A7: Signage Standards
- A8: Standard Details and Specifications

Subject Area

These guidelines have been developed for the following four downtown project areas:

- Zone 1: E. Elm Avenue from 3rd Street to 7th Street
- Zone 2: E. Durian Avenue from 4th Street to 6th Street
- Zone 3: 5th Street, from Elm north to E. Birch Avenue
- Zone 4: 5th Street, from Elm south to W. Glenn Avenue

While all these areas share similarities in terms of being the core of the community, each has a slightly different flavor. In short, these four project areas have the following distinctions:

Project Zone 1: E. Elm Avenue from 3rd Street to 7th Street

Elm Avenue is the major thoroughfare through town for visitors as it is also State Highway 33 and State Highway 198. As such, the road is wide and most development along Elm Avenue will require review and approval from the California Department of Transportation (CalTrans). A landmark in this project zone is the Baker Museum which is not only a source of civic pride, but also a tourist destination. The museum is expanding eastward to include the renovated Richfield Station and a future transportation exhibit.

The land use and architecture within this project area is primarily commercial, and largely caters to the traveling public. Only the two blocks from 4th to 6th were part of the 1985 Development Standards. The remaining blocks have buildings located on the rear of parcels with parking in front. Architecture in this zone is typical of the development period (1980 to 2000), including some typical 'anywhere' commercial architecture. The Baker Museum and Richfield Station are among the truest examples of Coalinga's historical architecture.

Project Zone 2: E. Durian Avenue from 3rd Street to 7th Street

E. Durian Avenue is the resident's alternative to travel on Elm Avenue. Along this street are many city anchors, including the City Hall (at 6th Street), the park (at 5th Street) and the Library (at 4th Street).

The architecture and public space within this project area is some of the most pleasant in Coalinga. The impact of the 1985 Development Guidelines is evident in the arcaded sidewalks and established landscape. The grass at the park and at the library provides an oasis for pedestrians, and the fountain in front of the City Hall provides pleasant sound. Most of this street's development provides a good example of the design guidelines objectives.



Mural on Baker Museum in Zone 1.



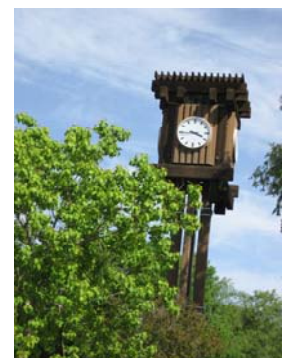
Arcade at City Hall, Zone 2.



Gazebo in Zone 2



Traditional gas station in Zone 1



Clock tower, Zone 3

Project Zone 3: 5th Street, North to E. Birch Avenue

This project area includes the 'heart' of downtown Coalinga, Coalinga Plaza. Constructed after the 1983 earthquake, this part of town caters to both residents and tourists. 5th Street proceeds away from the plaza towards nearby residential districts, passing the park and the city's signature gazebo at 5th and Durian and ending in the town's clock tower and the site of the Centennial Time Capsule.

Notable in this zone, and especially between Elm and Cedar, are the tree-lined streets. The arching branches provide shade and make the streets pleasant for walkers. The arcaded buildings give a pedestrian scale to the heart of downtown Coalinga. As the project zone moves north and beyond the influence of the 1985 Design Guidelines, some vacant spaces and parking lots disrupt the continuous pattern of street side development.



Tree canopy at Coalinga Plaza, Zone 3

Project Zone 4: 5th Street, South of Elm to W. Glenn Avenue

Downtown Coalinga is expanding across Elm Avenue down 5th Street. This area was not within the boundary of the 1985 Development Standards, and as such has developed with a traditional small town flavor, including parking lots in front of buildings and only limited landscape. This area is primarily commercial, and includes several vacant parcels that could provide development opportunities close to the heart of town.



Parking lot on street frontage, in Zone 4



Store at curb line in Zone 4

Figure 1 shows the boundaries of the four Project Areas.

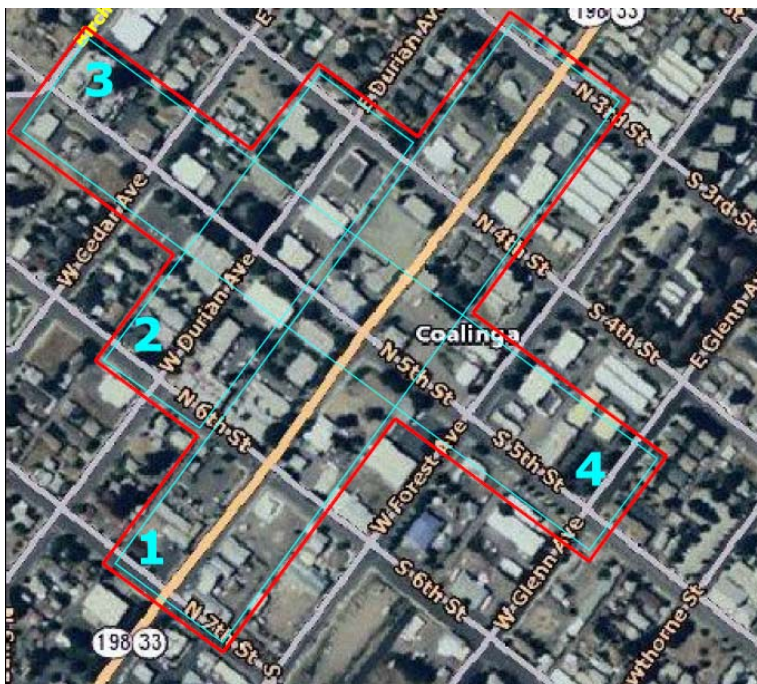


Figure 1

A. Circulation and Parking Guidelines

On-street parking is an important part of the functional character of Coalinga community core, and should be continued. Parking lots, however, should be designed to be behind buildings such that buildings can locate directly adjacent to the pedestrian travelway and present a continuous face to the street.

Where possible, pedestrian walkways should be separated from traffic and parking by a landscaped area, a minimum of 40" inside curb to inside curb.

Driveways across sidewalks should be kept to a minimum and should be designed at the minimum safe width. Driveways across sidewalks shall be to City of Coalinga Construction Standards and shall be in compliance with ADA in terms of a continuous path of travel with no abrupt changes in grade.

Parking location and layout varies somewhat from project zone to zone. Specifics are included in Figure 2 – Summary of Requirements by Zone.

1. PARKING

1.1 Parking lots may not be between the street and the building; they must be behind the building. In the case of corner lots, parking lots must be accessed from the minor road and must be screened from the street with a minimum 10' landscape setback.

1.2 Where possible, access to parking lots should be provided from both a street and an alley.

1.3 Lots shall be designed to prohibit the backing of vehicles into public streets.

1.4 Parking lots shall be screened from adjacent streets by a 10' landscape easement containing any of the following:

- Landscaping, primarily trees and shrubs
- A combination of shrubs and berms, not to exceed 3:1 slope
- Low, decorative wall not to exceed 30" in height or 24" high when combined with landscaping.

These screens shall not block views between 2.5' above sidewalk grade and 6' above the sidewalk and shall respect the clear view angle detailed in the Appendix.



Planting or other obstructions shall not block the driver's view between 2.5' above sidewalk grade and 6' above the sidewalk for safety's sake.

1.5 Walkways in or adjacent to the parking lots shall be elevated a minimum of 4" and a maximum of 6" above the parking lot grade unless an alternative drainage scheme has been approved by the City Engineer. Planting areas shall be protected by 6" curbs.

Where walkways must be at grade, for example to accommodate ADA path of travel, the walkway must be differentiated from the paving in the parking lot by contrasting pavement such as pavers or stamped, colored concrete, or by painted stripes. Decorative materials that provide a 'rumble' to vehicle drivers but are ADA compliant are preferred to painted stripes.

2. EMERGENCY VEHICLES, TRANSIT, SERVICE AND DELIVERY

2.1 A comfortable place, protected from the sun and rain, with seating, will be provided in the blocks identified by the city in the Transit Master Plan. These transit stops will include the street furnishings identified in Appendix 5.

2.2 Adequate access for emergency vehicles shall be provided in all parking lots, accessways or alleys.

2.3 Where possible, garbage storage and pick up will be from behind buildings. Trash enclosures will be enclosed in a structure as detailed in the City of Coalinga Construction Standards. Trash enclosures should be screened from view with planting whenever possible. If the doors face a public street or pedestrian area they shall be solid and painted a color to match the adjacent architecture.

2.4 Provision for deliveries, except US Mail, should be to the rear of buildings. Deliveries to the fronts of buildings on Elm Avenue are prohibited.

3. CROSSWALKS AND PEDESTRIAN CONNECTIONS

3.1 New crosswalks in zones 2, 3 and 4 shall be enhanced by development of landscaped 'bulb-outs' and decorative pavement treatments at the intersections.

3.2 When new development or remodeling introduces pedestrian use of alleyways, and space allows, shaded walkways should be provided to form visual and functional connections between businesses or between businesses and the downtown



1. Covered seating in an architectural style that complements surrounding buildings and selected downtown furnishings.
2. Street trees
3. Benches, trash receptacles and other site furnishings.



Pergolas through alleys and parking lots help define the pedestrian route and make the walk more hospitable.

streets. The shade structures do not have to provide solid shade, but should clearly define the route between developments and should separate pedestrians from parking lots and alleys.

B. Site Development Guidelines

1. SETBACKS AND LOCATIONS OF BUILDINGS ON PARCELS

These guidelines are based on the 1985 Downtown Development Standards, which should be expanded to direct new development and remodel projects in the four project areas. Specific requirements may vary from zone to zone. Also see Figure 2, Summary of Requirements by Zone.

1.1a Zone 2 and 3 North: Buildings in zones 2 and zone 3 north of Durian shall respect a 6' setback from the property line/right of way line. A 12' wide arcaded walkway shall be provided within this setback extending 6'-0" into the adjacent public right of way. The arcade shall be architecturally consistent with the building and made of fire-resistant material. 4'-0" projections from the building will be allowed within the setback area, not to exceed 30% of the total building frontage.



A narrow arcade enhances a side street

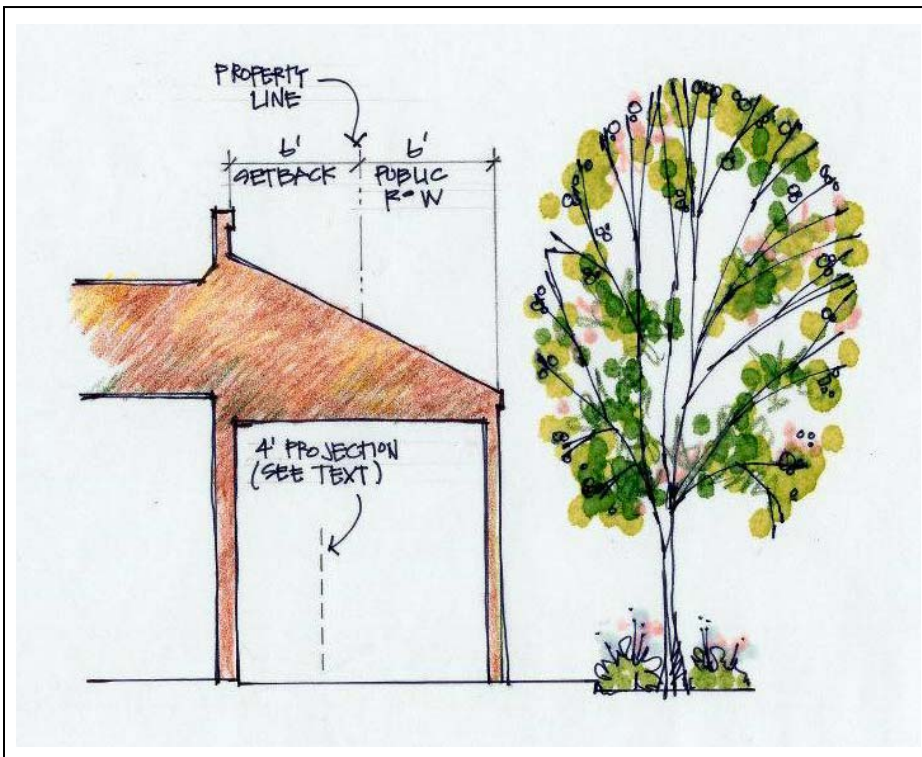


Figure A.1

In Zone 2 and in the part of Zone 3 south of the midblock alley at Durian Street, a wide arcade will tie new construction to existing buildings. It is important that new arcades blend architecturally with existing structures to present a unified appearance to the street.

1.1b Zone 1: In Zone 1, along Elm Avenue, the building setback shall be 10'-0" from the property line and the arcaded area will extend just to the edge of the right of way. The arcade shall be architecturally consistent with the building and made of fire-resistant material. 4'-0" projections from the building will be allowed within the setback area, not to exceed 30% of the total building frontage.

building frontage. With approval of the Planning Director, the arcaded area may be discontinuous and may feature shorter canopies over entrances and windows as accents. In areas not covered by arcades landscape must be provided against the building in the setback area.

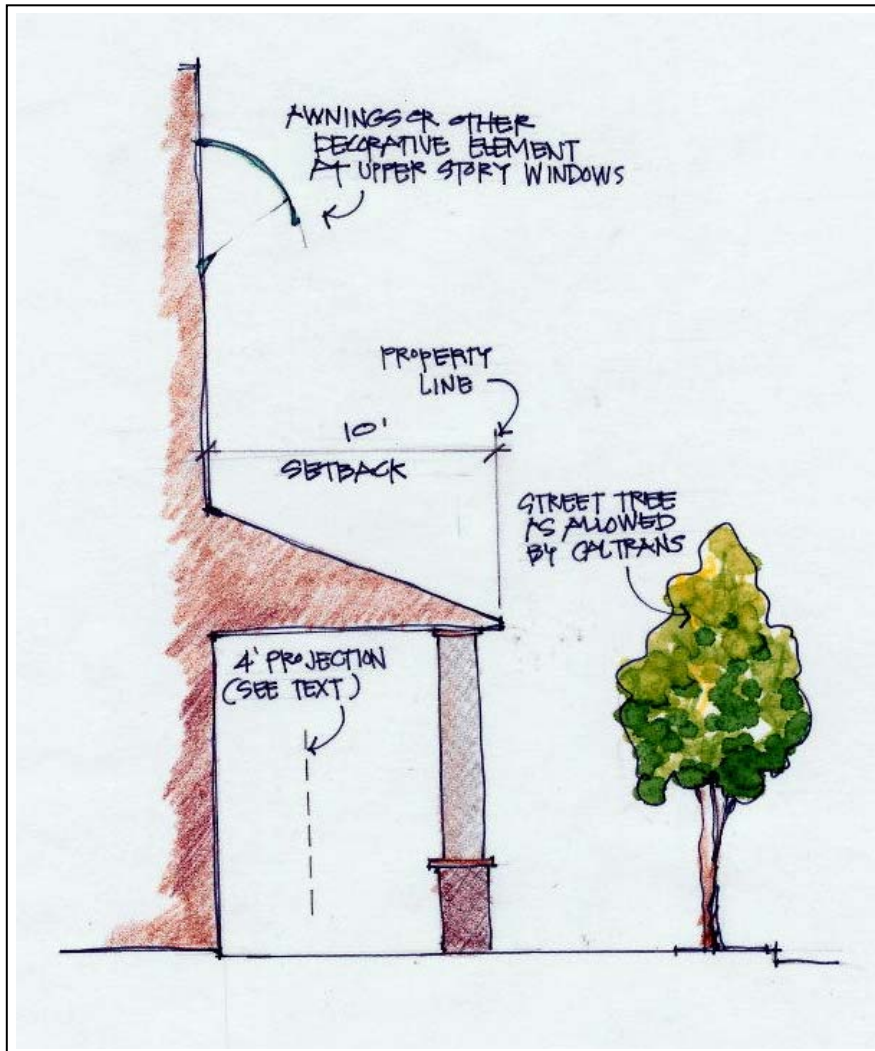


Figure A.2

Zone 1 may see two story development in the coming years. In that case, tastefully done, smaller scaled awnings or canopies on the second floor may be used to complement the architecture, enliven the street and harkens back to Coalinga's history.

1.1c Zone 4 and 3 South: In Zone 4 and in Zone 3 south of the midblock alley north of Durian, the arcaded area will be just to the edge of the setback line, 5'-0", and landscaping will be required at the curblin and within the setback.

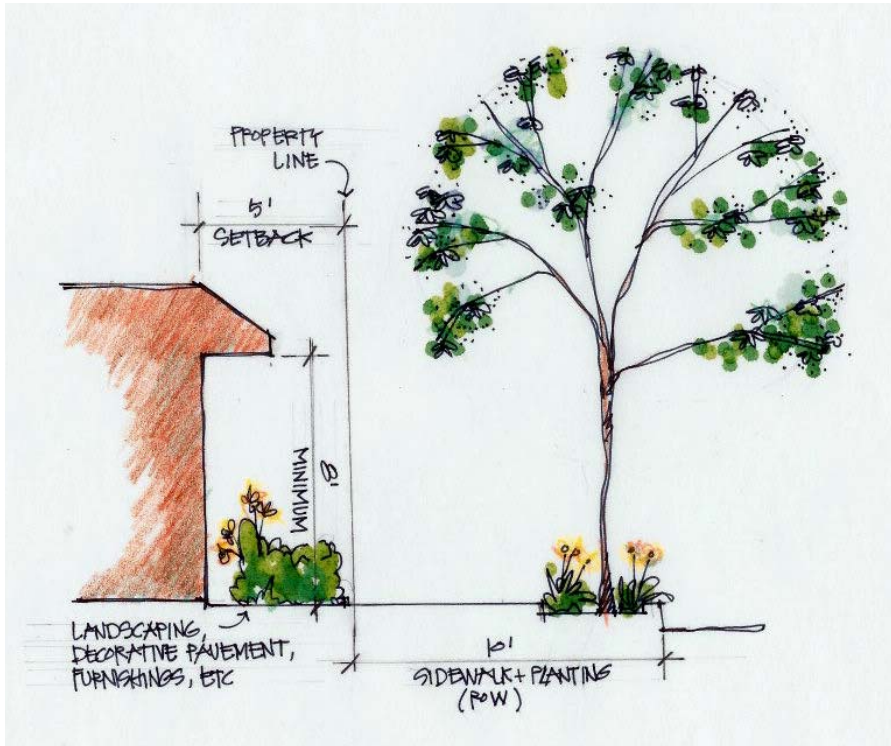


Figure A.3
 Outside of the core of the downtown, arcades should be more modest and in scale with the structures they support. Landscaping at the curb and against the building will enhance the streetscape and give the neighborhood a more walkable quality. Awnings attached to, as compared to part of, the building are an acceptable option in this zone (see the Façade standards in Appendix 7)

1.2 With approval of the Planning Director, the covered walkways and landscape setbacks may also be used to locate private pedestrian facilities such as bistro tables, benches, containerized plant materials, small water features, etc. as long as safe, public and ADA-compliant path of travel is maintained. These private uses of sidewalks or alleys cannot create an obstruction to vehicles or pedestrian circulation. Minimum clear dimensions on sidewalk must be in compliance with ADA standards.

The City of Coalinga must approve any encroachment onto the public way, and maintenance of the encroaching facilities will be the responsibility of the business owner/operator. Subsequent unapproved variations to the approved plans will be removed at the owner's expense.

2. PROVISIONS FOR DRAINAGE

2.1 All sites shall be designed with positive drainage away from structures.

2.2 Sites shall make provisions for stormwater storage that captures water onsite. 4% of the area to be taken from pervious surface to impervious pavement shall be designed as a vegetated swale, vegetated buffer strip, bioretention or infiltration area.

3. UTILITIES

3.1 There are functional and aesthetic advantages to underground utility systems and it is likely that existing systems will be converted to underground locations in the future. In anticipation of this and in order to avoid overhead visual pollution, all modifications to utilities systems such as phone, cable TV, and electrical lines, shall be installed underground in a manner to be connected to underground systems when they become available.

3.2 Utility meters and fixtures should be located away from human use areas and vision. These fixtures will remain reasonably accessible to utility companies for metering and service.

4. PUBLIC ART AND MURALS

4.1 The City of Coalinga encourages the addition of art and murals in the project areas. The city will establish a Public Art Committee to (1) establish a project list of priority areas to receive Public Art and (2) to review proposed projects in light of the community's priorities for the installation of Public Art and for compatibility of the proposed projects with existing architecture and Public Art. The City Council may sit as this committee.

4.2 Public art and murals must be installed to enhance the communication of the community's history and image. In no case can Public Art be used as advertising or as signage.

4.3 The city will issue a permit for painting any mural. Administrative procedures will be developed for the review and approval of murals in the City of Coalinga. The City Council may set, by resolution, a fee for the application and/or mural permit issuance. The following design criteria shall be used in evaluating mural proposals.

- The subject matter shall be of historic significance regarding the growth and development of the City of Coalinga and its surrounding region. The mural may also contain other subject matter deemed by the City Council to be significant and of high quality.
- Paints and other materials used for murals shall be appropriate for outdoor use and artistic rendition and shall be permanent and long-lasting. Super-bright or fluorescent colors shall be discouraged.
- Murals shall be designed and painted by professional mural artists who possess demonstrated knowledge and



Public art can provide a visual highlight in the community or celebrate its history, achievements and beliefs.

expertise in the design, materials and execution of murals.

- To the extent possible, the mural shall be vandal and graffiti resistant.



These murals celebrate the history of the town in a very memorable and meaningful fashion

C. Architectural Guidelines

1. COLORS AND MATERIALS

1.1 Colors and materials should be selected to enhance the appearance of the project area as a whole. Generally, light colored surfaces are preferred over dark or bright colored surfaces. Larger buildings especially should select more subtle colors. A single vivid hue may be used as an accent, but is inappropriate for an entire building. Colors that complement natural materials on the building provide an attractive appearance.

1.2 Materials should complement the appearance of the project area as whole and not call attention to one particular building. Materials that will withstand the climate of Coalinga and will continue to look pleasing with age are preferred over more high-maintenance materials.

1.3 Other than glass on windows, reflective surfaces are discouraged. Natural, matte finish materials are more in keeping with the architectural history of Coalinga.

2. FAÇADE GUIDELINES

One of the aesthetic goals of these design guidelines, is to create a walkable and pedestrian-friendly community. To this end, facades should cater to the walking public. Overall, much of the existing development in the project area gets good marks for walkability. New development beyond the city core has the opportunity to add features that will continue to encourage both visitors and residents to extend their experience of the town community on a more intimate level.

2.1 Business fronts should be inviting to pedestrians by including windows, doorways, transoms, signage (see Appendix 7) and landscaping that creates interest and a continuous experience the length of the block. New construction and remodels should respect and enhance the horizontal rhythm of the existing facades by (a) maintaining window and door heights and proportions, (b) maintaining or complementing front wall heights and (c) complementing the heights, thicknesses, materials, colors and architectural style of adjacent buildings.

2.2 Development plans submitted to the city for approval will show elevations of each side of the proposed development,

including a minimum of 10' of the adjacent buildings on every side of the proposed project.

2.3 Additional Façade guidelines are included in Appendix 5.

3. PAVING

3.1 The use of alternative paving materials is allowed and encouraged, but paving materials must complement other paving materials already installed in the vicinity of the project.

3.2 Decorative paving is encouraged in locations where it is desired to set off spaces of special or unique use. For example, pedestrian pathways across parking areas, seating areas or alcoves adjacent to sidewalks, sidewalk cafes contiguous to restaurants or separated by public walkways.

3.3 Transitions between decorative pavements and standard concrete sidewalks, streets and alleys or other decorative materials must be addressed to assure compliance with ADA guidelines.

3.4 All paving, decorative or standard, must meet the minimum standards in the City of Coalinga Standard Specifications and Details.

D. Landscape Guidelines

GENERAL

Trees, shrubs and flowering plants are assets to the community and shall be a part of all new development in the project area. All sites will use plant material as a softening element between buildings and parking areas and adjacent streets, sidewalks and alleys. Trees locations shall be selected to provide shade, to frame architectural elements, and to give scale to the community. Water is a precious commodity in Coalinga and the design of landscape areas must be sensitive to the appropriate use of this precious resource. Turf is discouraged in the project area, except in the park and in areas larger than 120 square feet with at least one dimension greater than 12'. No turf is allowed in strips narrower than 4 feet.

1. STREET TREES

1.1 Street trees shall be located in the city right of way to shade the pedestrian travelway but not to interfere with pedestrian movement. Trees will be located an average of 30' on center over the distance of the block, accommodating driveways, alleys and public utilities as indicated in Appendix 2.

1.2 Trees may be installed in tree wells located at the back of the curb in the sidewalk. Tree wells will be covered with an appropriate tree grate (see Appendix 4), shall be filled with compacted decomposed granite or will be filled with soil, irrigated and planted with low-growing shrubs and/or flowers. Tree wells must not provide a hazard to pedestrians, and trees may not reduce the unobstructed distance across the sidewalk to less than 48". Tree wells must respect the appropriate ADA Guidelines.

1.3 Trees adjacent to sidewalks should have high crowns and should be trimmed periodically to maintain 80" minimum clearance.

1.4 Wherever possible, existing trees shall be retained.

1.5 Street tree list and additional guidelines are in Appendices 1, 2, and 3.



Street trees can be installed in grates, carefully designed planters, or planted in conjunction with other landscape materials. Their presence along the sidewalk adds shade, scale and rhythm to the street.

2. PARKING LOT SHADE

2.1 New parking lots are required to provide shade throughout the lot. Existing parking lots will be required to add shade as part of changes in ownership or remodeling requiring new building permits.

2.1 All parking lot landscape - new and added - shall confirm to the standards in Appendix 4.

3. IRRIGATION AND WATER CONSERVATION

3.1 Irrigation water is extremely limited in Coalinga. As such, landscape plans for development in Coalinga will be designed using primarily drought-tolerant plant materials and water conserving irrigation equipment and technology.

3.2 All landscape areas will be irrigated with a permanent, automatic irrigation system. The irrigation controller must be capable of multiple start times and percentage-based water budgeting.

3.3 Irrigation systems will be designed to complete the entire irrigation cycle within a water window of 10 pm to 6 am.

3.4 The application rate of the selected irrigation equipment, coupled with the designated run time, shall match the infiltration rate of the soil. Nozzles shall be adjusted to eliminate overthrow onto adjacent hardscape.

3.5 Irrigation plans illustrating the layout of the irrigation system shall be submitted with landscape plans. The plan legend shall include:

- Brand, model number, radius and precipitation rate of all sprinklers
- Brand and model numbers of all other irrigation equipment.
- Notation of infiltration rate of site soils

3.6 Additional information regarding irrigation standards and submittal of irrigation plans is included in Appendix 1.

4. PLANTS IN CONTAINERS, ANNUAL COLOR AND HANGING BASKETS

4.1 Planting of flowers and perennials in containers in the setback area is encouraged. Irrigation and maintenance of these containers will be the responsibility of the property owner unless the container is placed by the city as part of an overall streetscape enhancement.

4.2 See Appendix 3 for a plant list of appropriate seasonal plants and information regarding irrigation of the containers.



Hanging baskets, like pots or planters, add color to the downtown. Automatic irrigation is recommended for all containers to aid in maintenance and to assure the success and attractiveness of the planting.

E. Street Furnishings and Signage

1. STREET FURNISHINGS

1.1 The City of Coalinga will select a family of site furnishings that will be used on all projects in the project area. This list may be updated from time to time to accommodate changes in availability of particular furnishings. The current list of approved site furniture is included in Appendix 4. An updated listing of the approved site furnishings is available from the Planning Director.

1.2 The consolidation or repositioning of street furnishings into multi-purpose units and the elimination of unnecessary items shall be considered to reduce visual clutter.

2. LIGHTING

2.1 Walkway light fixtures shall not exceed a height of twelve feet, and their placement shall be consistent with the overall design concept of the development project. When possible, pedestrian lighting should be integrated into buildings and other structures.

2.2 Light fixtures should reflect the historical roots of Coalinga, namely its industrial and agricultural heritage. Specific fixtures appropriate for Coalinga have been selected and are included in the Street Furnishings list.

2.3 All lighting should be shielded so as not to shine directly upon neighboring properties or interfere with traffic safety.

2.4 Coalinga is a town with rural character where bright lights are out of place. For this reason, light intensity and glare should be controlled to preserve the dark night sky. To achieve these ends:

- Lights should be of the minimum brightness possible to meet safety requirements.
- Light fixtures shall be recessed or shielded to contain light and glare. 'Spotlight' type lighting is discouraged.
- Businesses should reduce light intensity in buildings and signage during closed hours.
- Fixtures should include opaque tops to prevent light leakage to the sky.

The 'Dark Sky' organization has helpful information in this regard at <http://www.darksky.org/>.

3. DRINKING FOUNTAINS

3.1 Drinking fountains shall be universally accessible. Manufacturer and model numbers are available on the approved street furnishings list.

3.2 Drinking fountains shall drain into the sanitary sewer. Alternative arrangements can be approved by the City Engineer.

4. KIOSKS

4.1 Kiosks should be utilized where appropriate to provide a centralized location for handbills and posters. Kiosks may be located near public seating areas, parking lots and on sidewalks where a minimum of 6' of unobstructed sidewalk can be maintained.

4.2 Kiosks shall be of a style and of materials such that it complements the surrounding architecture.

4.3 Kiosks are most appropriate in zone 2 or 3.

4.4 Kiosks shall be free standing and viewable from two or more sides. Bulletin boards against buildings will be considered 'signage' and are subject to the signage guidelines. The exception to this guideline is at the City Hall or Library where public notices may be posted on a Bulletin Board.



This kiosk provides a map on one side and handbills of upcoming events on the other. Its location is enhanced by the use of decorative paving and nearby plantings.

5. VENDING MACHINES

5.1 Newspaper boxes and containers for free magazines or other printed material shall be clustered in groups in multi-user structures designed for this task.

5.2 Single newspaper or literature boxes are not allowed in the public right and only with a permit in the setback area

5.3 Illuminated vending machines of any type are not allowed in the setbacks or right of way within the project area.

Figure 2 - Summary of Requirement by Zone

Guideline Section	Zone 1 Elm Street	Zone 2 Durian Street	Zone 3 5 th Street from Elm to Birch	Zone 4 5 th Street from Elm to Glenn
A1 – Parking	a. Section 1.1 applies from 4 th St. to 6 th St. b. West of 6 th and east of 4 th , parking lots in front of building are permissible if screened as in Section 1.4	Section 1.1 applies in entire zone.	a. Section 1.1 applies from Elm Street to Cedar Street. b. From Cedar Street to Birch Street parking lots in front of building are permissible if screened as in Section 1.4	Parking lots in front of buildings are permissible in this zone (per Section 1.4) if they are adjacent to another front parking lot. If adjacent on either side to a building located at the curb, then parking lots at the new building must also be per Section 1.1
A3 – Crosswalks	Bulb-outs are not appropriate within CalTrans ROW, however alternative methods to connect town across Elm (such as contrasting paving, banner/artwork or other visual connection) should be investigated.	New crosswalks should be enhanced with bulb-outs and contrasting pavement whenever possible.		
B1 – Setbacks	See B1.1b for all of Zone 1	See B1.1a for all of Zone 2	See B1.1a for the area from the mid-block alley north of Durian to Birch. See B1.1c for the remainder of the zone.	See B1.1c for all of Zone 4
D1-Street Trees	To be installed in tree wells at the back of curb as allowed by Cal Trans.	To be installed in tree wells and/or planters at the back of curb.	From Elm Street to the mid-block alley north of Durian, street trees to be installed in tree wells. Street trees in the remainder of the zone to be installed per the detail in Setback B1.1c.	Street trees to be installed per the detail in Setback B1.1c.
D4-Containers and Hanging Baskets	To be included by businesses to announce entries.	Containers and hanging baskets appropriate in Zone 2	Containers and hanging baskets appropriate in Zone 3, and should be coordinated by city from Elm to the mid-block north of Durian	Opportunity exists to provide continuity and interest in Zone 4 with a container program extending from Coalinga Plaza to Glenn St.

Appendices

- Appendix 1: Landscape and Irrigation Standards
- Appendix 2: Street Tree Standards
- Appendix 3: Approved Tree Species and Suggested Materials for Container Planting
- Appendix 4: Performance Standards for Parking Lot Shading
- Appendix 5: Street Furniture
- Appendix 6: Façade Standards
- Appendix 7: Signage Standards
- Appendix 8: Standard Specifications and Details

Appendix 1

LANDSCAPING AND IRRIGATION STANDARDS

SECTIONS:

XX.XX.010	PURPOSE AND INTENT.
XX.XX.020	APPLICABILITY.
XX.XX.030	DEFINITIONS.
XX.XX.040	STANDARDS OF LANDSCAPE DESIGN/IMPLEMENTATION.
XX.XX.050	LANDSCAPE PLAN SPECIFICATIONS.
XX.XX.060	IRRIGATION PLAN SPECIFICATIONS.
XX.XX.070	INSPECTION.
XX.XX.080	MAINTENANCE.
XX.XX.090	FEES
XX.XX.100	MODEL HOMES

XX.XX.010 PURPOSE AND INTENT.

Water is an increasingly limited and costly resource. It is the intent of this section to establish a water conservation plan to reduce water consumption in the landscape environment using conservation principles.

XX.XX.020 APPLICABILITY.

Whenever landscaping or a landscape plan is required by this Code or as a condition of any action authorized by this Code, the following standards of landscape and irrigation system design and landscape and irrigation specifications shall apply.

All landscaping and irrigation plans shall be submitted to the Community Development Department – Planning Division for review and approval prior to installation of any improvements.

XX.XX.030 DEFINITIONS.

- (a) "Planted Area" shall mean the total area of the site not covered by buildings, parking lots, driveways or streets, and shall include patios, plazas, sidewalks, hard-courts, swimming pools, spas and parkway areas.
- (b) "Turf" shall mean a single-bladed grass or sod.
- (c) "Water Conserving Plant" shall mean any plant which exhibits drought tolerant characteristics, that is to say, will, in designed location, survive with limited supplemental water. Hybrid Dwarf Type fescues and warm season grasses shall be considered water conserving. A suggested listing of these plants shall be made available by the Planning Director and may be added to at the discretion of the Planning Director upon the recommendation of Certified Nurserymen, Landscape Architects or others knowledgeable in the field.

- (d) "Friable Condition" shall mean returning the soil to an easily crumbled or loosely compacted condition down to a minimum depth per planting material requirement, whereby the root structure of newly planted water conserving plants will be allowed to spread unimpeded.

XX.XX.040 STANDARDS OF LANDSCAPE DESIGN IMPLEMENTATION.

- (a) Plan Preparation. It is required that a licensed landscape architect, landscape contractor, architect, engineer, or certified irrigation designer be employed in preparing the landscape and irrigation plans. In addition to plants, the use of structural elements like pools, fountains, raised planters, benches and sun-shades are encouraged in the landscape plan.
- (b) Plant materials. The selection of plant materials should include both evergreen and deciduous trees, shrubs and attractive erosion-preventing ground cover. It is required that at least 90% of the plants selected in non-turf areas be well-suited to the climate of the region and require minimal water once established in the landscape. Up to 10% of the plants may be of a non-drought tolerant variety as long as they are grouped together and can be irrigated separately. Attention shall be given to appearance, height, spread, growth rate, moisture requirements, potential root damage, disease and pest susceptibility, climatic adaptability, soil type, slope, function and degree of maintenance required.
- (c) Plant coverage. Plants shall be so spaced and sized that, when mature, they will fill the planter area. Although a reasonable number of growing seasons will be allowed for full plant coverage to develop, interim ground cover shall be provided during this period. Interim cover of surfacing materials shall consist of rocks, gravel, wood mulch or chips, or any other acceptable material. Mulches must be a minimum of 3" thick when used as an interim measure.
- (d) Plant maintenance. Underground automated irrigation systems shall be provided to assure efficient water use with a minimum of labor and water waste. Irrigation controllers must have multiple cycle capabilities. Plant material must be maintained in a healthy condition. Unhealthy plants shall be replaced. Planters shall be kept free of all weeds, debris and trash.
- (e) Planter construction. All planter areas should have a permanent border to prevent cars and pedestrians from damaging plant materials. All planters constructed adjacent to buildings or structures shall be so designed to avoid irrigation water intrusion into or on that adjacent building or structure. The minimum width of a planter bed shall be forty (40) inches measured from the inside of curbing or acceptable permanent border.
- (f) Commercial landscaping. Landscaping within commercial zoning districts should provide a minimum of 3% of the total lot area as landscaping within the front yard area. Total landscaping area should not be less than 50% of the lot area.
- (g) Compacted soils. Prior to the planting of any materials the compacted soils surrounding a building site shall be returned to a friable condition. Friable condition shall mean returning the soil to an easily crumbled or loosely compacted condition down to a minimum depth per planting material requirements, whereby the root structure of newly planted material will be allowed to spread unimpeded.

XX.XX.050 LANDSCAPE PLAN SPECIFICATIONS.

- (a) Three (3) copies of the landscape plan shall be submitted for review and approval by the Director of Planning in accordance with the standards of landscape design set forth in this chapter.
- (b) One (1) copy of all building elevations and site grading plans or one (1) copy of all building plans shall be submitted together with the landscape plan. The building elevation and site grading plans shall be in sufficient detail to permit determination of the location, width and height of all doors and windows and roof overhangs on all proposed buildings within or adjacent to proposed landscape areas.
- (c) The landscape plans shall be legible and drawn to a scale no smaller than one (1) inch equals twenty (20) feet. Maximum sheet size on all drawings shall be 24" x 36" ("D" size).
- (d) The landscape plans shall indicate property lines, important dimension lines, setback lines, walls and fences, driveways, adjacent streets, outline of all structures and adjacent land uses.
- (e) The landscape plans shall include planting details and pre-emergent soil treatment material specification.

The results of soil tests for horticultural suitability shall be submitted with the landscape plan. Soils shall be prepared and/or amended as appropriate. At a minimum the acid/alkaline levels (Ph), EC and SAR need to be indicated. The soil laboratory should furnish recommendations for soil amendment and fertilization.

A minimum of three (3) inches of mulch shall be added in non-turf areas to the soil surface after planting. Plant types that are intolerant of mulch shall be excluded from this requirement.

Sheet plastic and other non-porous material shall not be placed under mulch.

The use of turf as a plant material will not be permitted in narrow planter areas (less than ten (10) feet in width), in traffic median strips, parking strips, between curbs and sidewalks, or on slopes that are in excess of three to one (3:1).

- (g) On slopes exceeding 15%, a level buffer zone of 18" is required between bermed turf areas and any hardscape (i.e. streets, walkways, etc.). The landscape plans shall include a plant list giving the common and botanical names of plants to be used. This plant list shall be arranged in legend form with a key number assigned to each plant. On the plan, each plant shall be identified by a key number. The size of the plant, its spacing and the quantity to be used shall follow in the legend, as the following example illustrates.

No.	Quantity	Botanical Name	Common Name	Size	Space
1	6	Campanula isphylla	Italian bellflower	Flat	6"
2	10	Eucalyptus polyanthemos	Silver dollar gum	5 gal.	20'
3	14	Pinus muga mughus	Mugho pine	1 gal.	10'

XX.XX.060 IRRIGATION PLAN SPECIFICATIONS.

- (a) Three (3) copies of the irrigation plans shall be submitted for review and approval by the Director of Planning for back-flow prevention and minimum depth of soil coverage. The irrigation system shall be designed with water conservation in mind. Wind direction, surface drainage, soil type and application method shall be considered.
- (b) The irrigation plan shall indicate potable water system point of connection and size, water pressure available and maximum demand of the system in gallons per minute or gallons per hour if appropriate.

Reclaimed water may also be used as an alternate irrigation water source if it is supplied through a dual distribution system that conforms to Fresno County Environmental Health Department Standards and Regional Water Quality Control Board standards.

- (c) Irrigation equipment specified must be identified by manufacturer's name and equipment identification number.
- (d) Performance data for irrigation heads and emitters including discharge rates, effective radius and operating pressure shall be listed in the irrigation legend.
- (e) All locations of irrigation valves, controllers, hose bibs, quick coupler valves, sprinkler heads and backflow prevention devices, valves, filters, pressure regulators, emitters, rain switches and moisture sensors must be indicated.
- (f) Irrigation details must be used to clarify particular situations. Typical details should include backflow prevention devices, valves, irrigation heads, emitters, filters, pressure regulators, moisture sensors, rain switches, check valves and irrigation controllers.
- (g) All irrigation lines must be sized.
- (h) Schedule 40 P.V.C. pipe sleeves are required under all paved areas wider than 5'. The sleeves shall be two times the diameter of the lines they contain, and no smaller than 2" for pipe and 1.5" for wire. Piping must be installed a minimum of twelve (12) inches underground for non-pressure irrigation lines and eighteen (18) inches underground for constant pressure irrigation lines. Lines under paving subject to vehicular traffic shall be installed with a minimum of 24" cover. Polyethylene emitter distribution tubing may be located at grade.
- (i) Irrigation watering schedules for the entire year must be provided on irrigation drawings. These schedules will include an establishment (first 12 months) and post establishment period. Post establishment schedules will be divided into four quarters. Those quarters are winter, spring, summer and fall.
- (j) Pop-up sprinklers in turf areas shall have a minimum four inch pop-up height. Sprinkler coverage shall be 100%. Heads shall be placed at a maximum of 50% of the diameter of throw (head to head) unless specific justification is provided for greater spacing. Sprinkler heads must have matched precipitation rates within each control valve circuit.

Sprinklers and sprays shall not be used in areas less than eight (8) feet wide. Drip and bubblers that do not exceed 1.5 gallons per minute per device shall be used.

Soil moisture sensing devices are required on landscapes of 50,000 square feet or larger.

Serviceable check valves are required where elevation differential may cause low head drainage.

Irrigation controllers must be capable of multiple programming. Controllers must have multiple cycle start capacity and a flexible calendar program. Controllers shall not be set to operate between the hours of 10:00 a.m. and 8:00 p.m.

Water application rates shall be less than .25 inches per cycle or at the documented infiltration rate of the project site. A minimum of a one-hour period shall be allowed prior to the application of additional water.

(k) Copies of pressure/flow calculations shall accompany the irrigation plans.

XX.XX.070 INSPECTION.

Upon installation of landscaping and irrigation systems, the installer must contact the Planning Division and request an inspection. The landscape and irrigation installation must conform to the approved plans before a certificate of occupancy will be issued by the Building Official.

XX.XX.080 MAINTENANCE.

Whenever landscaping or a landscaping and irrigation plan is required by the Code, or as a condition of and action authorized by this Code, the landscaping and irrigation system shall be maintained in accordance with the approved landscape and irrigation plan. Maintenance includes removal of weeds, litter or other debris and replacement of dead plant materials.

XX.XX.080 FEES.

A landscaping and irrigation plan review fee shall be paid to the Planning Division. The amount of the fee will be set by resolution of the Coalinga City Council.

XX.XX.100 MODEL HOMES.

To promote landscape water conservation through education, all single-family residential developments with two or more model homes to be constructed by a developer, shall provide for landscaping of at least 50% of the models consistent with the requirements of this chapter.

- (a) Signs. Each development with "water saving" model homes may provide information to potential buyers regarding the water saving design by means of a front yard sign up to four (4) square feet in area. The sign should indicate that the model features a water saving landscape and irrigation design and may list the designer and supplier of the plants.
- (b) If the optional sign is not used or it does not provide details on the design, an interior display including a drawing, or combination of drawings, shall be displayed inside each water saving" model which provides a schematic of the landscape. These drawings shall include a key identifying the common name of the plants used in the "water

saving" model yards. A brochure with the same information may be distributed with the sales information to potential buyers to satisfy this requirement.

Appendix 2

Street Tree Standards

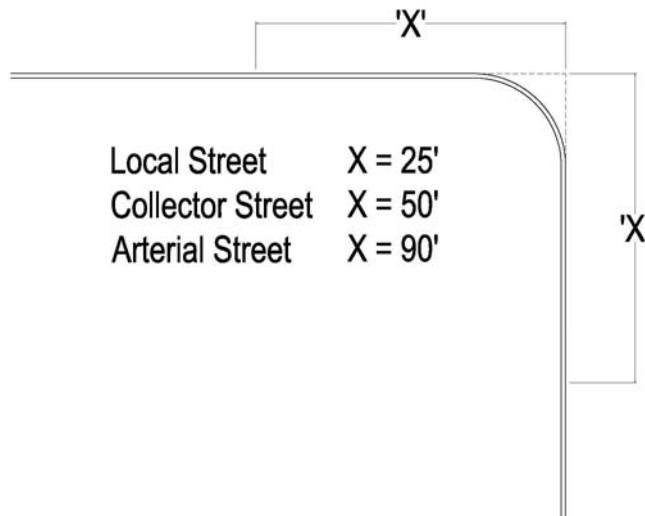
- (a) Tree Selection, Planting and Maintenance Guidelines. This section provides the City of Coalinga's standards for selecting, planting and care of street tree. These guidelines are based on arboricultural industry standards and are backed by research and experience.
- (b) Preplanting / Improvements Plans. The Developer shall provide a street tree plan for all new developments illustrating street tree locations on the frontages of all commercial, residential and industrial lots. The plan shall be to scale, but may be schematic in nature. This plan shall specify tree species, location and spacing. The plan shall be submitted to the City of Coalinga with the improvement plans. Street trees shall be managed through a Landscape and Lighting District. Improvement and street tree plans shall show locations of any overhead utility lines.
- (c) Guideline for Species Selection. Species choice and planting locations have a major impact on the success of Coalinga's urban forestry program. It is recommended that a single species be used on a given street however, different trees species shall be used throughout a development. The City shall not accept a street tree plan that features a single species of tree. In developments with more than 35 street trees, no more that 20% of the street trees may be of the same species. In smaller developments trees should match along individual frontages, but differ between streets. Exceptions to this guideline may be approved by the Planning Director. A list of approved street trees is included in these guidelines.
- (d) City of Coalinga Specifications for Container Grown Trees. The highest quality tree possible should select. Generally the cost of the tree is the least expensive part of the planting and care process. If poor quality trees are purchased and planted, the success of the long-term goals may not be realized. The city shall require all street trees meet the requirements of the American Society of Certified Nurserymen.
- (e) Planting Sites. Downtown street trees shall be planted in the public right of way, easements and medians along transportation corridors. Street trees planted along public corridors provide a dramatic visual impact while creating much needed shade. Street trees in parkways provide pedestrians with a shaded walking area separated from automobiles. Street tress shall be placed in the following locations:
 - (1) Along streets in concrete cut outs in the sidewalks in commercial areas.
 - (2) In parkways or landscape setbacks where parkways are provided.
 - (3) In street medians (which are in the center of a roadway separating the lanes of traffic).
- (f) Tree spacing. Tree spacing is an important element in a successful landscape. Tree spacing in some areas may vary because of dive approaches, lighting, and utilities.
 - (1) Small trees – 20' to 25' apart. Small tree shall be used when planting under the utility lines. Small trees should be considered in the area between the wall and the back of sidewalk in the landscaped area surrounding the development. Small tree will generally not be approved for use as street trees unless overhead utility lines are present.

- (2) Medium size trees – 25' to 35' apart. Medium size trees can be used as street trees in parkways in front of homes and the back of sidewalk in the landscape area surrounding the development.
- (3) Large trees – 30' to 45' apart. Large trees can be used as street trees in parkways in front of homes and in the landscaped area surrounding the development.

(g) Tree Location. To protect the integrity of public utilities and to provide for public safety the following guidelines are provided for tree locations:

- (1) Trees are not to be planted within:
 - 5' of drive approaches
 - 5' of sewer lines
 - 5' of water lines
 - 10' of fire hydrants
 - 10' of light poles
- (2) Trees are not to be planted within clear vision triangle on corner lots
- (3) Trees shall not be planted within a triangle with the following dimension from the intersection of the lines determined by the face of curb on each of the intersecting streets:
 - Local Streets (30 mph) – 25' distance from side street curb face to first street tree.
 - Collector Streets (40 mph) – 50' distance from side street curb fact to first street tree.
 - Arterial Street (50 mph) – 90' distance from side street curb fact to first tree.

In the case of two different classes of streets intersecting, the largest distance shall be used on both legs.



- (4) In the case of driveways, there shall be no plants or other obstructions within a triangle defined by one leg of 12' into the site along the driveway curbline from the back of the right of way, and another leg along the right of way line 45' from the curb.
- (5) Trees should not be planted where they will obstruct the views of stop signs or traffic signals.
- (6) No tree that grows taller than 25' shall be planted under utility lines.

- (h) Planting. Planting a tree is an investment in time, money and the future. Correct planting procedures are critical to achieving a return on the investment. Good planting practices greatly improve plant establishment. The City of Coalinga shall reject any street tree not planted according to its standards.
- (i) Digging the Planting Pit. In all but sandy soils dig the hole to the depth of the root ball (but no deeper) and two times as wide.
- (j) Installing the Tree. Remove the tree from the container and cut circling roots and those matted at the bottom. Set the root ball so its top is at grade. Backfill with native soil and gently firm the soil to hold the tree in place and minimize air pockets. All trees shall be watered in at planting. In turf areas a 3-inch berm shall be formed around the root ball.
- (k) Mulch. Mulch can improve soil structure over long periods of time. Developer shall add mulch such as shredded bark or wood chips around the tree in the turf free ring. Mulch shall be three inches thick and be kept at least 3 inches away from the trunk. Shredded bark and larger wood chips also discourages lawn mowers and weed-eaters from hitting the tree trunk.
- (l) Staking. The amount of support needed to keep the tree straight is largely dependent on caliper and taper of the trunk and the height and size of the crown. A tree with good taper and moderate crown will not require a great deal of support. The tie should allow the tree to move and flex in the wind but keep the trunk from hitting the stake. If a single stake system is used, the stake should be installed on the windward side of the tree. If the double stake method is used the stakes should be installed so that they are perpendicular to the prevailing wind.
- (m) Irrigation. Bubblers are required if there is no overhead irrigation.
- (n) Pruning. Proper pruning is important to develop a strong framework in young trees by eliminating weak or defective structure, improving branch spacing, strengthening branch attachment and directing growth. Significant structural defects can be eliminated with early pruning.
 - (1) Young trees should be pruned once a year for the first five years.
 - (2) Adolescent trees (range in age from five to twelve years) shall be pruned on a three year cycle.
 - (3) Mature trees shall be pruned on a five to eight year cycle or depending on need.
- (o) Tree Replacement. It is important to replant trees that die and have been removed. Developer shall be responsible for tree replacement for a one year period after initial planting.

Appendix 3

Approved Tree Species and Suggested Materials for Containerized Plantings

1. Approved Street Tree Species:

Other species may be submitted to the Planning Director for approval.

A. Small trees for under overhead wires or other obstructions

Acer buergeranum 'Trident'	Trident Maple
Cercis canadensis 'Oklahoma'	Oklahoma Redbud
Lagerstroemia indica cv	Crape Myrtle
Pyrus kawakamii	Evergreen Pear

B. Medium and Large trees

Fraxinus velutina 'Rio Grande'	Fan-Tex Ash
Ginkgo biloba 'Heritage'	Heritage Maidenhair Tree
Ginkgo biloba 'Saratoga'	Saratoga Maidenhair Tree
Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree
Koelreuteria paniculata	Goldenrain Tree
Nyssia sylvatica	Tupelo Tree
Pistacia chinensis 'Keith Davies'	Keith Davies Pistache
Podocarpus gracillior	Fern Pine
Quercus agrifolia	Coast Live Oak
Quercus frainetto	Forest Green Oak
Quercus r. 'Regal Prince'	Regal Prince Oak
Quercus lobata	Valley Oak
Ulmus parvifolia 'Dynasty'	Dynasty Elm
Zelkova serrata 'Musashino'	Musashino Zelkova
Zelkova serrata 'Village Green'	Village Green Zelkova

2. Suggested Parking Lot Tree Species:

All the trees above, plus:		<i>min planter size</i>
Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	7'
Platanus acerifolia 'Yarwood'	London Plane Tree	8'
Pyrus calleryana cv	Flowering Pear	6'
Quercus rubra	Red Oak	7'
Quercus coccinia	Scarlet Oak	7'

All trees that are planted within 8' of public improvements (sidewalks, walls, curbs, utilities, etc.) require the installation of 18" deep root barriers (Deep Root or equal) in a linear manner at the back of the curb, sidewalk or other improvement. The root barrier should extend a minimum of 6' on either side of the trunk of the tree (12' total length, minimum). In a sidewalk tree well situation a circular root barrier may be used.

3. Containerized Plantings

Containerized plantings should focus on hearty plants that will thrive in an environment that includes a small root zone, possibly limited water and often either bright, hot sun or

deep shade. As a general rule, combinations of plants should include an upright perennial with visual interest, a draping annual or perennial to soften the edge of the container, and filler plants to complement the colors and textures of the upright and draping material. 'Filler' plants can either provide the accent to the plainer upright or draping plants or can be the unifying element that ties the entire composition together.

Other considerations for containerized plantings:

- It is important to assess the exposure of the container (hot and sunny or dark and cool) and select plants that are appropriate.
- Plants in containers have a small reservoir of soil and water to depend on, making irrigation critical. Irrigation can be done by hand on a daily basis, or by an automatic irrigation system. Automatic systems can include a hard pipe and emitter that comes up through the pot and is tied to the overall site irrigation (most easily done in new construction) or with a drip line that comes up the back of the pot. The location and the availability of existing or proposed irrigation on the rest of the project will determine the best solution for each individual site.
- Drainage is an issue with containerized planting. For the health of the plant it is important that excess irrigation water can exit the pot. This drainage water is often colored by the amendments in the soil and can stain the concrete. Drainage water should be collected in saucers under plants, should flow into a drain under the pot, or should flow into a porous material that can be changed periodically when it becomes discolored.

Suggested plants for containers in Coalinga:

A. Annuals and Perennials for large pots (combinations)

- Phormium t. 'Bronze Baby' (Dwarf New Zealand Flax) / Cerastium tomentosum (Snow-in-Summer) / Hedera helix 'Needlepoint Varigated' (Needlepoint Ivy)
- Small Bronze Calla (Calla Lily) / Silver Carpet' Lamb's Ears / Annual Red Salvia
- Red Pennisetum (Red Fountain Grass) / Bouganvilla 'OhLaLa' / Blue 'Victoria' Salvia / Lobelia (this arrangement needs a big pot, Bouganvilla has thorns)
- Citrus 'Kumquat' / Varigated Ivy Geranium or Creeping Thyme or Erigeron (Seaside Daisy)

B. Single attractive plants for containers:

- Lantana ('Radiant' or 'Confetti' or other bright-flowered variety)
- Rosemary (a trailing variety, such as 'Collingwood Ingram' or 'Huntington Blue')
- Strelitzia (Bird of Paradise) (Bird of Paradise is tender to frost)
- Geraniums
- The perennial Hibiscus (H. moscheutos, sometimes called 'Dinner Plate Hibiscus) is a beautifully striking plant that will grow tall (4"-5'+) and spectacular and die to the ground in the winter, only to grow again in the spring.

C. Annuals for hanging baskets

Hanging baskets have more longevity when they are a blend of annuals mixed with the persistence of perennial material. With this combination the baskets can be updated throughout the seasons but even as the annuals decline with changing weather, the perennials will keep the planter looking pleasant, if not as colorful.

Some suggestions for hanging baskets include:

- Perennials: Needlepoint ivy, Ivy geranium, Fibrous begonias, Erigeron (Seaside Daisy), Liriope, Sedums.
- Annuals: Petunias (full size and the newer 'Mission Bells' hybrids), Lobelia, Verbena, Phlox, Sweet Peas, Calendula, Impatiens.

The setting of the hanging basket (shade, sun, wind, etc) will dictate the best plants for the basket. The garden center professionals can be a great help with plant selection if they know the intended use of the plants.

Appendix 4

PERFORMANCE STANDARDS FOR PARKING LOT SHADING

POLICY

Fifty percent of paved parking lots surface shall be shaded by tree canopies within fifteen years of planting.

GENERAL

- (1) A “paved parking lot” shall include parking stalls, driveways, and maneuvering areas.
- (2) Trees planted to satisfy the requirements of these guidelines are landscaping as defined by these Design Guidelines are subject to established landscaping requirements.
- (3) A landscape plan which details the degrees of compliance with these Parking Lot Shade Guidelines is required. The plan shall show:
 - (a) All landscaped areas.
 - (b) Tree canopies drawn to scale representing the estimated canopy at a fifteen year growth period.
 - (c) The total area in square feet of the paved parking lot, driveways, and maneuver areas; and the area shaded by tree canopies. A schedule listing total parking area, shaded area, and the percentage of parking area shaded should be included.
 - (d) A schedule of the specific names of proposed trees and their sizes.
- (4) Such plan shall be approved by the Planning Department prior to issuance of building permits. However, the plan is encouraged to be submitted at the time of site plan review.

METHODOLOGY

- (5) To simplify the process of determining compliance, the true angle of deflection of natural sunlight shall not be considered. Shaded areas shall be assumed to be only those portions of a paved parking lot directly beneath the shading canopy or drip line.
- (6) Shading will be provided by tree canopies except that any portion of a paved parking lot directly beneath and shaded by a man made structure (overhangs and covered parking for instance) may be deleted from the requirements of these performance standard and shall be subtracted from the area of the parking requiring shade.
- (7) Credit shall be given only for surface area shaded. Multiple canopies shading the same surface area will not be counted as multiple credit.
- (8) Landscape planters beneath the canopy may be considered as shaded parking areas for the purpose of determining compliance.
- (9) Where more than five trees are to be planted, mix tree species.

- (10) Trees planted along the perimeter of a lot may be counted as providing shade for the full area of their canopy.
- (11) If the degree of overlap between trees is less than 15 percent all trees may be counted as shading 100 percent of their canopy. If the degree of overlap is 15 percent or greater then it will be necessary to perform individual calculation to determine the area of shading.
- (12) A ten percent minor deviation of the shading standard may be approved by the Director in accordance with established procedures in the municipal code if it is found that the normal standards would impose an undue hardship.

ALLOWABLE SPECIES/CANOPY See Appendix 3

MINIMUM TREE REQUIREMENT

Provide one medium size tree for every two required parking spaces. (This requirement may be waived by the Director if the standards for shading and perimeter planting have been met.)

Disperse trees over the parking lot area to provide 50 percent shading of the parking area surface within 15 years. (This requirement may be reduced to 40 percent for existing development if it is demonstrated that the constraints of an existing site would make it impossible to meet the normal standard.) Trees shall also be planted in the required landscaped areas along the periphery of the development in order to shade and enhance adjacent property and public rights-of-ways.

Trees shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for health of the tree and public safety; or as may otherwise be approved by the Development Department.

MINIMUM PLANTER SIZE (Between tiers of parking)

- (1) Continuous Planter
 - Standard Parking Stalls - 8' wide inside curb to inside curb
 - Compact Parking Stalls - 6' wide inside curb to inside curb
- (2) "Finger" Planters
 - Between stalls – 4' inside curb to inside curb
- (3) Along Periphery
 - 10 feet except as may be approved pursuant to Municipal Code.

MINIMUM SIGHT TRIANGLE

In parking lots, pay particular attention to the view triangle at the driveway. There shall be no shrubs or other obstructions over 30" tall within a triangle defined by one leg of 12' into the site along the driveway curblines from the back of the right of way, and another leg 45' long from the curb along the ROW line at approximately 90° from the curb. This diagonal line shall be extended to the street curb. All the landscape within this triangle is subject to the 30" tall rule.

Trees within triangle shall be trimmed up to at least 8' above the surface of the parking lot, or 6' over planting in areas without pedestrian access.

Other landscaping (ground cover and shrubs) shall not exceed two and one-half feet above the parking lot surface where drivers' visibility could be impaired.

Appendix 5

Street Furnishings

The following street furnishings form the core of the approved elements for the project area.

1. Benches:

Manufacturer: DuMore Site Furnishings www.dumor.com
Model Number: Bench 19-60 or 80
Color: Black



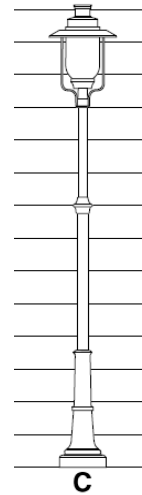
2. Trash Receptacles:

Manufacturer: DuMore Site Furnishings www.dumor.com
Model Number: Receptacle 158
Color: Black



3. Light Fixtures:

Manufacturer: Sun Valley Lighting
Model Number: LCZB Luminaire, 3500 base, 4030
Shaft, 12' height
Color: Black



4. Drinking Fountains:

Manufacturer: Most Dependable Fountains
Model Number: 2002 Historical Fountain
Color: Black or Pyrite



Other furnishings may be added to this list, and these selections changed and/or updated, as new materials become available after the adoption of these guidelines.

Appendix 6

FAÇADE STANDARDS

1. Body of a Building: The body of a building contains the majority of the area of the building and contains the storefront doors and/or windows of the building.

The body is the most important part of a building. Because it compasses the majority of the structure, the elements of the body should be proportional to each other and display a sense of balance through the use of proper sizes and positioning.

Although the body of the building is the largest portion, it should not contain too many different types of material. It is recommended that a maximum of only three (3) materials be used in the body of a building.

The texture of each component should work with all the pieces of the body of the building.

The glass in the storefront window and doors affect the appearance of the building and should be complementary to the entire building. Reflective glass or reflective items are not allowed and tinted glass should have a transparency value not greater than 30%.

It is often desirable to break up the horizontal appearance of a long building by the introduction of vertical breaks in the building façade, as shown in Illustration 3. These vertical breaks may or may not extend through the base and top portions of the building.

2. Entrance of a Building: Entrances to a building can add vertical elements which break up the façade of a building making it more interesting. The entrance is one of the most important parts of the building façade and should be easily identifiable.

3. Canopies and Shed Roofs: Horizontal arcades over walkways have been a key part of Coalinga's architecture since the post-earthquake rebuilding started these arcades can be an important design feature while adding sun screening to display windows and sun and rain protection to pedestrians. These elements need to be designed carefully to be an integral part of the building, not just an after-thought to the building. Additional information regarding design approaches for arcades can be found detailed below.

Arcades which extend into the public right of way in zone1 along Elm Avenue, which is in Caltrans jurisdiction, will require encroachment permits from the California State Department of Transportation.

Arcade Design: Arcades can be an important part of the body of the building, for they add color and can reduce the impression of height at the first floor of a building by adding a horizontal element at 8 to 10 feet above the ground level.

Arcade design at the ground level and awning on upper floors should be sensitive to the overall façade of the building. The size, scale and color of the features should be compatible with the rest of the building; they should not be the predominant element of the façade. Breaking an awning at important vertical divisions of a building, such as between buildings and the entrance is encouraged to relieve a long monotonous appearance. See the guidelines for additional information in this regard.

4. Top of a Building: The portion of a building is important for it is the crown to the building. This top part is either a decorative cornice or a roof in older buildings or is entirely deleted in more modern buildings.

DESIGN CONSIDERATIONS

1. Use of Quality Material: Owners and tenants are encouraged to use quality material on the façade of the buildings that will both improve the appearance and have a long life.

Recommended materials include the following:

Base:

- Brick masonry
- Ceramic tile
- Painted or stained solid wood panels with appropriate trim, molding and detailing;
- Painted or stained solid wood board and batten;
- Painted or stained exterior plywood (not T-111) and batten'
- Cut stone;
- Plaster – Lightly troweled, sand, or smooth finish;
- Concrete

Body:

- Painted or stained solid wood board and batte;
- Painted or stained exterior plywood (not T-111) and batten;
- Plaster – Lightly troweled, sand or smooth;
- Brick masonry;
- Concrete block;
- Glass block;
- Concrete;
- Wood and clear glass storefront;
- Aluminum and clear glass storefront;
- Wood, steel, or aluminum doors and windows with clear glass;
- Canvas awnings;
- Shed roofs with wood shingle or shakes (fire treated shingles and shakes are highly recommended).

Top

- Wood shingle or shakes (fire treated shingles and shakes are highly recommended);
- Barrel, “S” or flat concrete or clay tile roofing;
- Class “A” composition roofing;
- Plaster cornices;
- Cast stone cornices.

The following materials are prohibited in any portion of a building in the design areas:

- Highly reflective or tinted opaque glass;
- Fiberglass / plastic stone or masonry;
- Heavily textured plaster;
- “Pecky” cedar;
- Corrugated fiberglass;
- Imitation wood siding or T-111 plywood siding

The following materials may be allowed after careful review and consideration by the Redevelopment Agency Architectural Review Committee:

- Aluminum awnings;
- Imitation stone;
- Split-face concrete block

2. Color on the Façade: The colors on a building can dramatically affect the visual appearance of a building and should be carefully selected in relation to the overall design intent of the building. Color affects the apparent scale and proportion of a building by accenting elements such as doors, windows, bulkheads, awnings and cornices.

The definition and descriptions of colors acceptable for the exterior painting of buildings in the design areas are included in these guidelines as a separate section.

For these standards, the term color will include hues, tints, tones, shades and neutrals; all variations of color will be singularly defined by the term color.

The body of the building will generally contain the dominant color of the building. This can be derived from paint or from the natural finish of a material such as brick. Accent color can occur at bulkheads, awnings, doors and windows, as well as cornices. Accent color may either harmonize or provide contrast to the body of the building. The accent color may be brighter, more intense, more subdued, or a lighter or darker tone or color. The following is a list of recommendations for color selection:

Colors should be coordinated with all elements of the façade such as signs, awnings, storefronts, etc.

- When choosing colors, consideration should be given to the color of the buildings adjacent in the design area. Adjacent building color should complement one another. An exception is when an adjacent building has garish colors that do not conform to this guideline;
- Because most of the buildings in the design areas are simple, a maximum of two or three colors is recommended;
- Architectural detailing, trim, storefront, window sashes, doors, door frames are examples of areas to receive accent colors;
- Materials with an existing natural finish such as ceramic tile and brick masonry that have never been painted should not be painted. The overall color scheme of a building should complement the natural materials. If brick masonry has been previously painted, it is often hard to remove the paint to restore the natural appearance, and therefore repainting is allowed as described below:

Brick masonry should never be sandblasted to clear for either a natural appearance or prior to repainting. Brick masonry should be water blasted to remove paint and/or prepare an existing painted masonry for repainting. Sandblasting removes the natural fired surface of the brick and allows water infiltration that causes the material to deteriorate, thus creating a safety hazard.

If brick masonry is very deteriorated or if there is a concern of possible water infiltration, a clear sealer may be applied. The sealer should be carefully selected to be a “breathable” sealer so that water does not get trapped behind the sealer and cause accelerated deterioration.

Appendix 7

SIGNAGE STANDARDS

The following standards shall govern the placement of signs in the project areas:

6.1 Permitted Signs

(a) Signs Required by Law

Signs required by law, including legal notices or advertisements prescribed by law or posted by any lawful officer or agent.

(b) Construction Signs

One temporary sign not exceeding 32 square feet in area used to indicate owner, builder, architect, and pertinent data regarding building construction on the building site during construction only.

(c) Real Estate Signs

Temporary signs indicating that the property on which the sign is located is for sale, rent or lease. One such sign shall be permitted to face on each street adjacent to the property. The sign may be single- or double-faced and shall be limited to 10 square feet in area on each face.

(d) Directional Signs

Parking lot and other private directional signs each not exceeding 5 square feet in area and limited to the guidance of pedestrian or vehicular traffic within the premises on which they are located.



The minimum signage necessary gives other attractive elements a chance to announce this business.

(e) Miscellaneous Permanent Information Signs

Miscellaneous permanent information signs with an aggregate area not to exceed 3 square feet at each customer or service entrance, indicating address, hours and days of operation, whether a business is open or closed, credit information, and emergency address and telephone numbers.

(f) Window Signs (Temporary)

Temporary signs displayed within a building or attached to the interior of a window but visible through a window or similar opening for the primary purpose of exterior visibility, provided that a temporary sign may not remain in use for more than 60 days.

(g) Window Signs (Permanent)

Signs permanently affixed to a window, provided that the aggregated area of the signs do not exceed more than 10 percent of the area of the window to which they are affixed.

(h) Wall Signs

Permanent, single-faced wall signs mounted parallel to the exterior wall of façade of a building subject to the following:

- (1) The sign shall identify only the name and address of the business and the principal product or service offered.
- (2) One sign shall be permitted per business or tenant on each frontage or building face have a public entrance.
- (3) The area of each sign shall not exceed 10 percent of the building face area occupied by the business or tenant, up to a maximum of 50 square feet.
- (4) Wall signs shall not project outward more than 6 inches from the building wall or façade or extend above or beyond the wall or façade.
- (5) All wall signs on a building shall be generally uniform in design and shall have the effect of promoting visual continuity and orderliness. They shall be made of the same materials and shall have the same border design and shape.
- (6) Vinyl or plastic banner-style signs are only permissible as a "Temporary Sign" for display no longer than 30 days to announce special or transitory events. Any single establishment shall only hang one sign in each quarter of the year.

(i) Under Marquee or Under Arcade Signs

Permanent double-faced signs attached to or suspended from the underside of a marquee or arcade projecting over public or private sidewalks subject to the following:

- (1) The sign shall identify only the name of the business.
- (2) One sign shall be permitted for each customer entrance, with the area of each sign not to exceed 4 square feet.
- (3) The sign shall be located in proximity to the entrance it services, shall be mounted or suspended perpendicular to the wall in which the entrance is located and shall have a minimum clearance of 8 feet above the sidewalk over which it is located.
- (4) All under marquee or under arcade signs on a building shall be generally uniform in design and shall have the effect of promoting visual continuity and orderliness. They shall be made of the same materials and shall have the same border design and shape.



(j) Freestanding or Monument Signs

Permanent freestanding signs not attached to any building and having their own support structure, and monument signs which are completely self-supporting, having their base on the ground, and generally rectangular in form, subject to the following:

- (1) The sign shall identify only the name and addresses of the businesses on the premises and the principal products or services offered.
- (2) One freestanding sign or monument sign shall be permitted per building or group of buildings in a unified development such as a shopping center.
- (3) The sign shall be located in or adjacent to a private parking lot serving the building or buildings being advertised and having a minimum of 10 spaces.
- (4) The sign shall not exceed 24 feet in area. The maximum height shall be 12 feet for freestanding signs and 4 feet from monument signs.

- (5) There shall be a landscaped area at the base of any freestanding or monument sign, the size of which shall be at least twice the area of one face of the sign.

6.2 General Provisions Signs

- (a) No flashing, rotating or animated signs (except time and temperature signs) shall be permitted.
- (b) The following signs are expressly prohibited: changeable copy signs, projecting signs, roof signs, off-premise signs (billboards), signs painted on walls or facades.
- (c) Vinyl or plastic banner-style signs supported by posts, poles or trees are not allowed in the landscape or parking lot.

Appendix 8

STANDARD SPECIFICATIONS AND DETAILS

The City of Coalinga Standard Specifications and Details are incorporated into this document by reference.